

N/F  
STATE OF MAINE  
1362/301

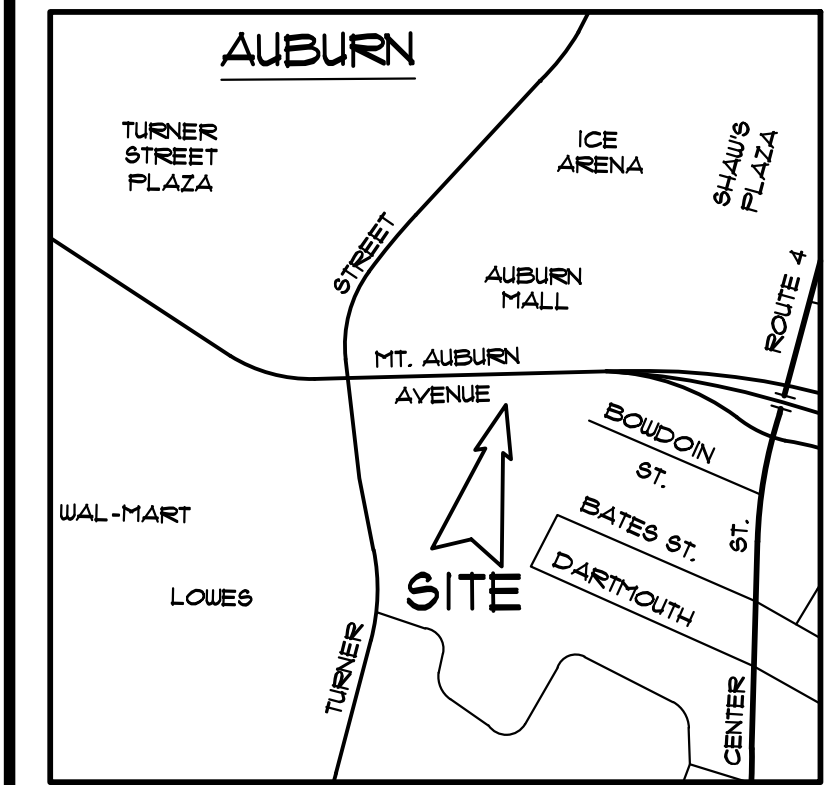
**PLANT LIST**

3	AF - ARMSTRONG MAPLE - 25"
8	UA - PRINCETON ELM - 25"
101	CC - BLUE & WHITE DWARF BELLFLOWER

- NOTES**
- 1) THIS PLAN WAS PREPARED TO SERVE AS A VISUAL AID FOR DISCUSSIONS OF THE SITE'S DEVELOPMENT POTENTIAL AND TO FACILITATE THE APPROVAL OF PROPOSED IMPROVEMENTS. EXISTING CONDITIONS WERE TAKEN FROM A PLAN ENTITLED "DRAFT ALTANUS'S LAND TITLE SURVEY, EVERGREEN 2.0 LLC", DATED DECEMBER 3, 2018, PREPARED BY JONES ASSOCIATES, INC. PROPOSED CONDITIONS WERE TAKEN FROM A PLAN SET PREPARED BY SUR ENGINEERING REVISED THROUGH FEBRUARY 21, 2019. PROPOSED LANDSCAPING WAS PROVIDED BY DAVIS LANDSCAPE COMPANY.
  - 2) ALL BOOK AND PAGE NUMBERS REFER TO THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS.
  - 3) OWNER OF RECORD - EVERGREEN 2.0 LLC  
DEED REFERENCE - BOOK 9950, PAGE 190  
PORTION OF TAX MAP 280, LOT 13
  - 4) PARCEL AREA = 8.83 ACRES
  - 5) THE PARCEL IS LOCATED IN THE GENERAL BUSINESS & URBAN RESIDENTIAL ZONING DISTRICT.

**LEGEND**

	BOUNDARY LINE (SUBJECT PARCELS)
	BOUNDARY LINE (OTHER PARCELS)
	EXISTING CHAIN LINK FENCE
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING LIGHT POLE
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	NEW STORM DRAIN MANHOLE
	EXISTING WATER VALVE
	EXISTING GAS VALVE
	NEW BOLLARD
	UTILITY POLE WITH OVERHEAD WIRES
	NOW OR FORMERLY
	BOOK AND PAGE NUMBER
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING PAVED AREA
	NEW PAVED AREA

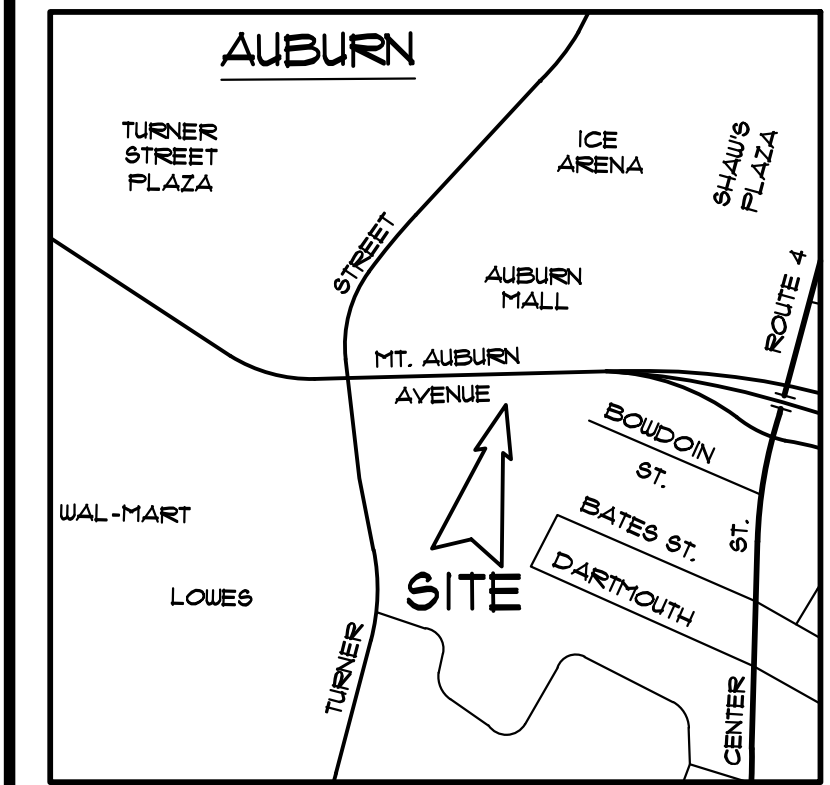
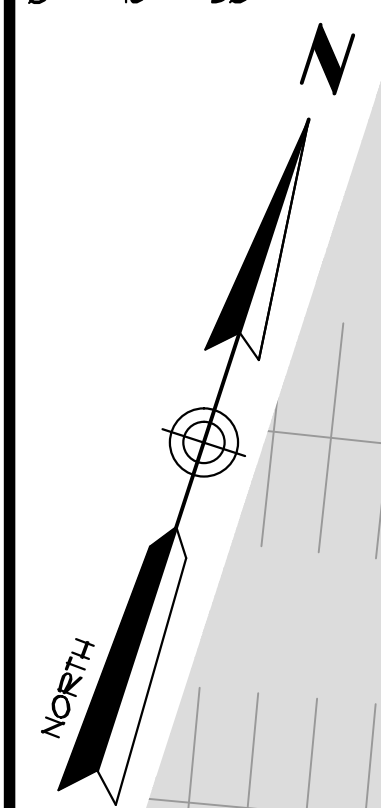
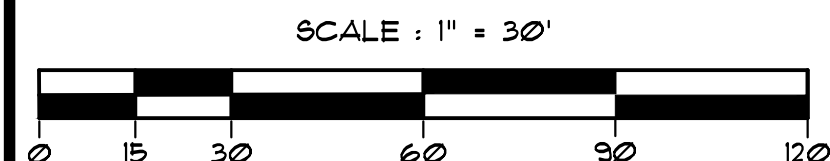
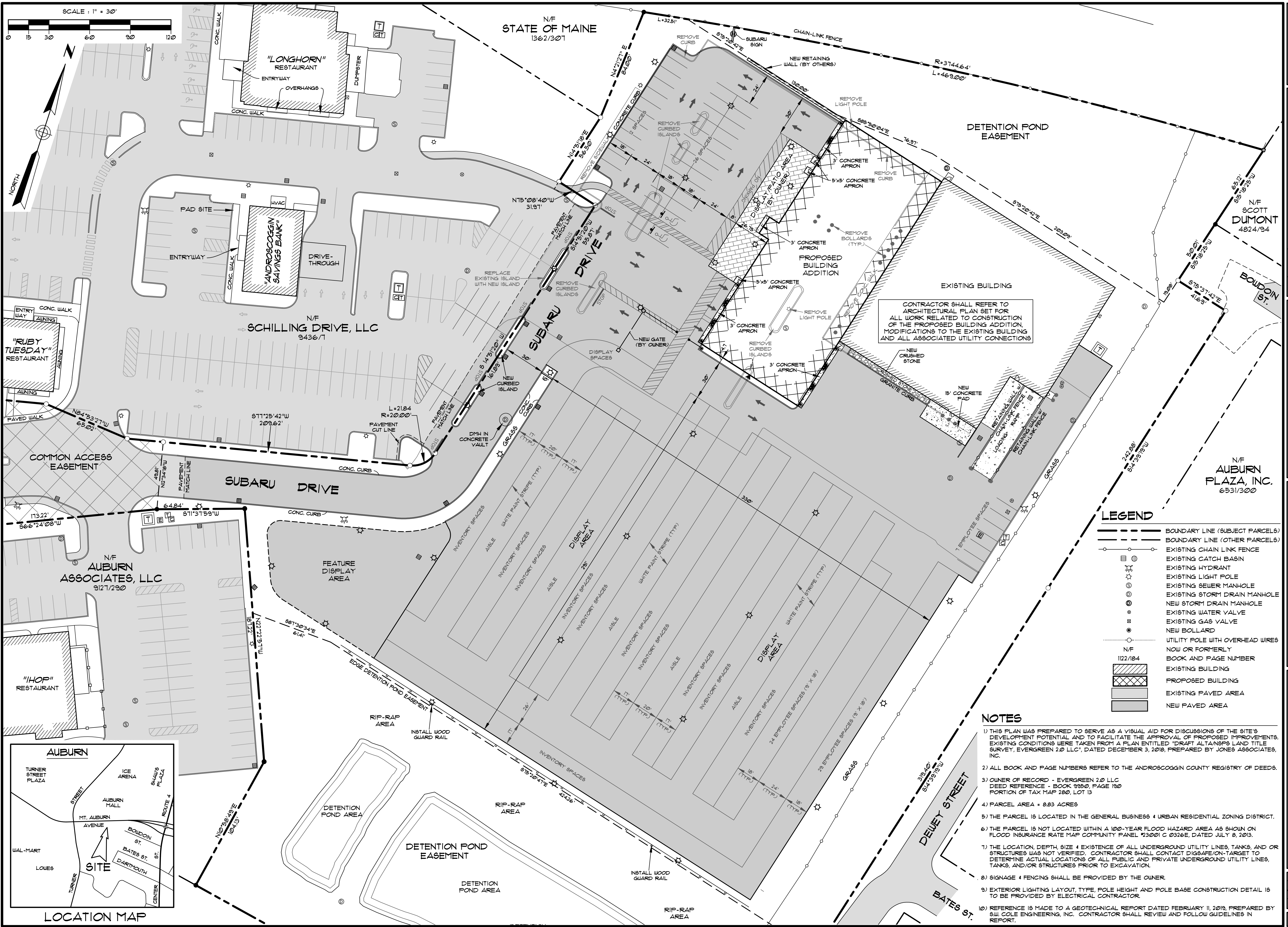


**PRESENTATION GRAPHIC**  
**EVERGREEN PLAZA**  
**EVERGREEN SUBARU**  
 SUBARU WAY - AUBURN, MAINE  
 ANDROSCOGGIN COUNTY

PREPARED FOR  
**EVERGREEN 2.0**  
 114 CENTER STREET - AUBURN, MAINE 04210

**Stoneybrook Consultants, Inc.**  
 P.O. Box 459 - Turner, Maine 04282 - (207) 224-0252

DATE: FEBRUARY 2019	DRAWN BY: BRJ	SCALE: 1" = 30'	SHEET
JOB NUMBER: 18-026	CHECKED BY: MFG	CADD: 18-026 PRESENT	1



N/F  
STATE OF MAINE  
1362/301

DETECTION POND  
EASEMENT

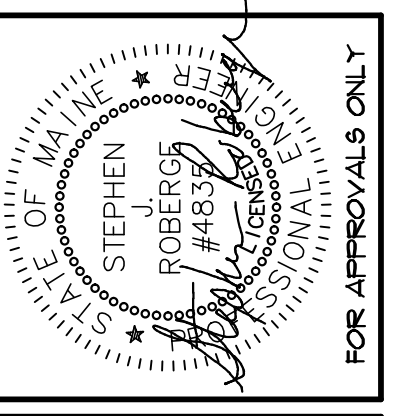
CONTRACTOR SHALL REFER TO  
ARCHITECTURAL PLAN SET FOR  
ALL WORK RELATED TO CONSTRUCTION  
OF THE PROPOSED BUILDING ADDITION,  
MODIFICATIONS TO THE EXISTING BUILDING  
AND ALL ASSOCIATED UTILITY CONNECTIONS

**LEGEND**

- BOUNDARY LINE (SUBJECT PARCELS)
- BOUNDARY LINE (OTHER PARCELS)
- - - CHAIN LINK FENCE
- ⊠ EXISTING CATCH BASIN
- ⊕ EXISTING HYDRANT
- ⊙ EXISTING LIGHT POLE
- ⊗ EXISTING SEWER MANHOLE
- ⊕ EXISTING STORM DRAIN MANHOLE
- ⊕ NEW STORM DRAIN MANHOLE
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING GAS VALVE
- ⊕ NEW BOLLARD
- UTILITY POLE WITH OVERHEAD WIRES
- N/F NOW OR FORMERLY
- 1122/184 BOOK AND PAGE NUMBER
- ▨ EXISTING BUILDING
- ▨ PROPOSED BUILDING
- ▨ EXISTING PAVED AREA
- ▨ NEW PAVED AREA

**NOTES**

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DEED REFERENCE - BOOK 9950, PAGE 190  
PORTION OF TAX MAP 280, LOT 13
- 4) PARCEL AREA = 0.83 ACRES
- 5) THE PARCEL IS LOCATED IN THE GENERAL BUSINESS & URBAN RESIDENTIAL ZONING DISTRICT.
- 6) THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL #23001 C 0326E, DATED JULY 8, 2013.
- 7) THE LOCATION, DEPTH, SIZE & EXISTENCE OF ALL UNDERGROUND UTILITY LINES, TANKS, AND OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE-ON-TARGET TO DETERMINE ACTUAL LOCATIONS OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITY LINES, TANKS, AND/OR STRUCTURES PRIOR TO EXCAVATION.
- 8) SIGNAGE & FENCING SHALL BE PROVIDED BY THE OWNER.
- 9) EXTERIOR LIGHTING LAYOUT, TYPE, POLE HEIGHT AND POLE BASE CONSTRUCTION DETAIL IS TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
- 10) REFERENCE IS MADE TO A GEOTECHNICAL REPORT DATED FEBRUARY 11, 2019, PREPARED BY S.W. COLE ENGINEERING, INC. CONTRACTOR SHALL REVIEW AND FOLLOW GUIDELINES IN REPORT.



NO.	DATE	DESCRIPTION
1	2/2/19	CHANGES TO ADDRESS REVIEW COMMENTS
REV.	DATE	CHANGES

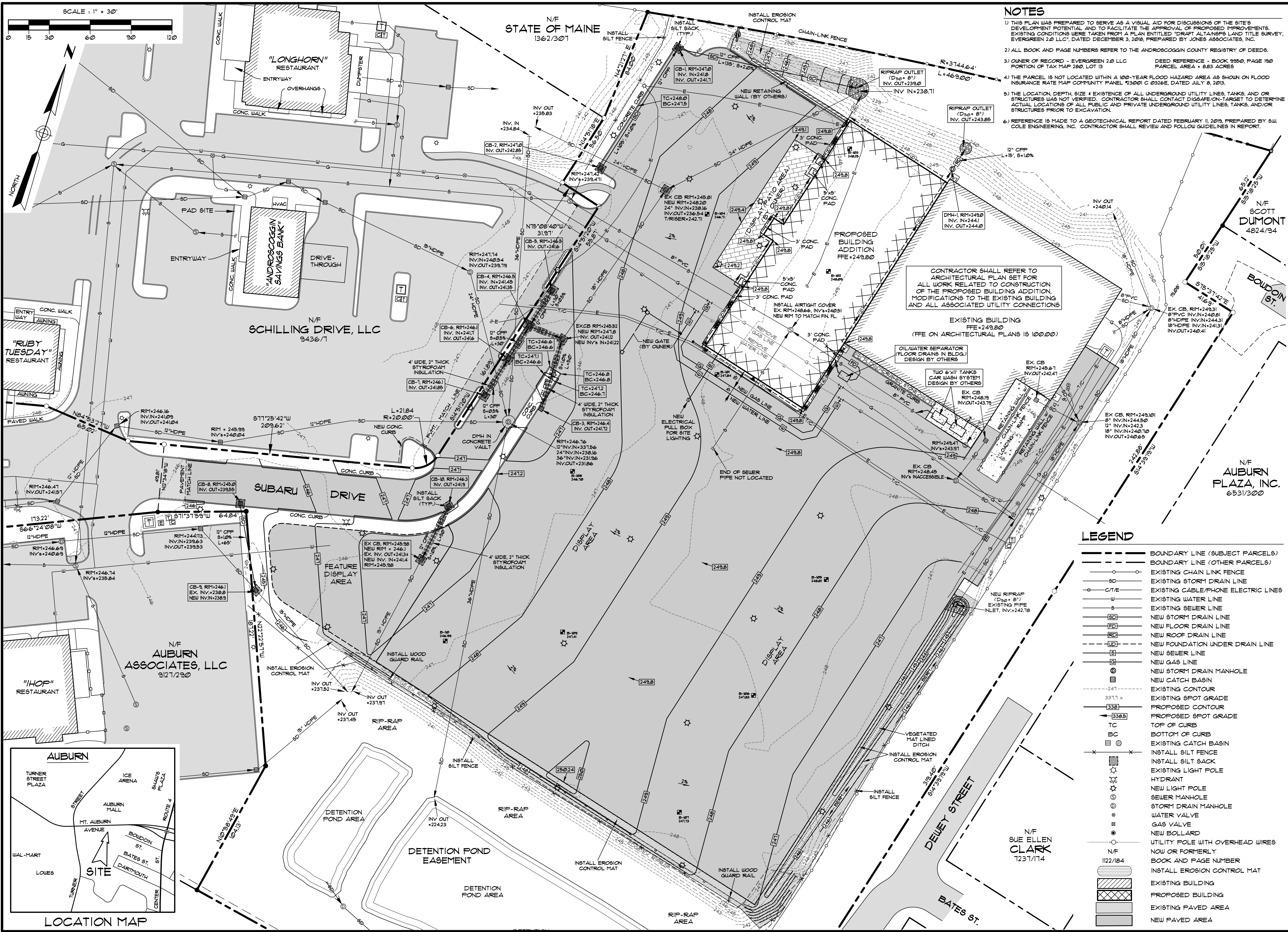
**Stonebrook Consultants, Inc.**  
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(207) 224-0252 Voice

**SJR ENGINEERING, INC.**  
16 THURSTON DRIVE  
MONMOUTH, MAINE 04259  
(207) 242-6248 (cell)  
steve@sjeeng.com

**SITE PLAN**  
**EVERGREEN SUBARU**  
643 TURNER STREET - AUBURN, MAINE  
PREPARED FOR  
**EVERGREEN 2.0**  
114 CENTER STREET - AUBURN, MAINE

DATE	PROJECT
2-12-19	2019-03
DRAWN BY	SCALE
FIM	1" = 30'

**SHEET 1**

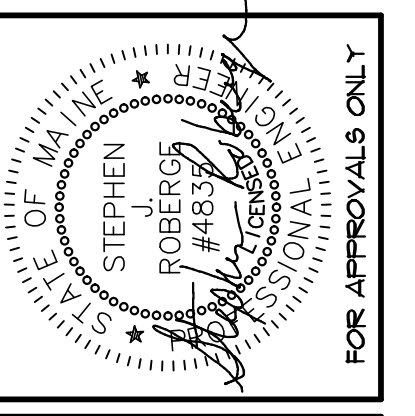
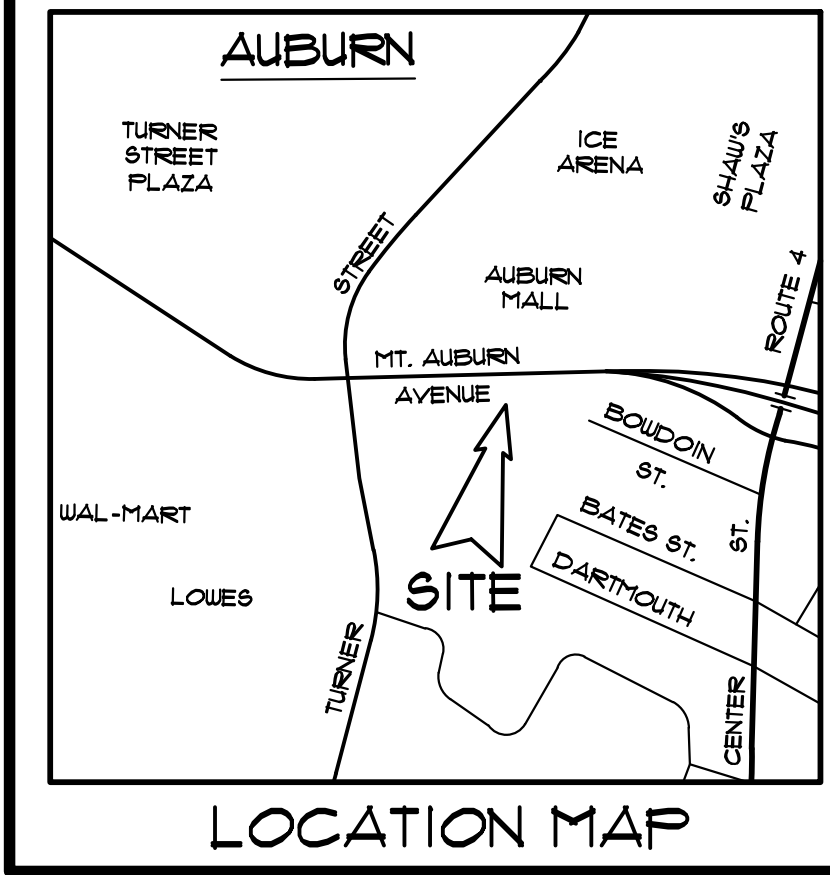


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- 4) THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL 230901 C 0326E, DATED JULY 8, 2013.
- 5) THE LOCATION, DEPTH, SIZE & EXISTENCE OF ALL UNDERGROUND UTILITY LINES, TANKS, AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET TO DETERMINE ACTUAL LOCATIONS OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITY LINES, TANKS, AND/OR STRUCTURES PRIOR TO EXCAVATION.
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**LEGEND**

	BOUNDARY LINE (SUBJECT PARCELS)
	BOUNDARY LINE (OTHER PARCELS)
	EXISTING CHAIN LINK FENCE
	EXISTING STORM DRAIN LINE
	EXISTING CABLE/PHONE ELECTRIC LINES
	EXISTING WATER LINE
	EXISTING SEWER LINE
	NEW STORM DRAIN LINE
	NEW FLOOR DRAIN LINE
	NEW ROOF DRAIN LINE
	NEW FOUNDATION UNDER DRAIN LINE
	NEW SEWER LINE
	NEW GAS LINE
	NEW STORM DRAIN MANHOLE
	NEW CATCH BASIN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	TOP OF CURB
	BOTTOM OF CURB
	EXISTING CATCH BASIN
	INSTALL SILT FENCE
	INSTALL SILT BACK
	EXISTING LIGHT POLE
	HYDRANT
	NEW LIGHT POLE
	SEWER MANHOLE
	STORM DRAIN MANHOLE
	WATER VALVE
	GAS VALVE
	NEW BOLLARD
	UTILITY POLE WITH OVERHEAD WIRES
	NOW OR FORMERLY
	BOOK AND PAGE NUMBER
	INSTALL EROSION CONTROL MAT
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING PAVED AREA
	NEW PAVED AREA



REV:	DATE:	CHANGES TO ADDRESS REVIEW COMMENTS
1	2/2/19	CHANGES TO ADDRESS REVIEW COMMENTS

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 16 THURSTON DRIVE  
 MONMOUTH, MAINE 04259  
 (207) 242-6248 tel  
 steve@sjeeng.com

**GRADING & UTILITY PLAN**  
**EVERGREEN SUBARU**  
 643 TURNER STREET - AUBURN, MAINE  
 PREPARED FOR  
**EVERGREEN 2.0**  
 114 CENTER STREET - AUBURN, MAINE

DATE	PROJECT
2-12-19	2019-03
DRAWN BY	SCALE
FIM	1" = 30'

**SHEET 2**



**GENERAL NOTES**

- 1) THE CONTRACTOR IS REFERRED TO THE SPECIFICATIONS REGARDING COORDINATION WITH OTHERS, INCLUDING RESPONSIBILITIES AND RELATED COSTS. ALL UTILITY CONSTRUCTION IS SUBJECT TO APPROVAL INSPECTION BY UTILITY COMPANY PERSONNEL PRIOR TO BACKFILL OF TRENCHES.
- 2) BELOW GRADE UTILITY INFORMATION IS BASED UPON FIELD SURVEY, CITY OF AUBURN PLANS, CITY OF AUBURN GIS WEBSITE, AND INFORMATION PROVIDED BY INDIVIDUAL UTILITY COMPANIES. LOCATIONS AND ELEVATIONS OF PUBLIC UTILITIES SHOWN ARE ONLY APPROXIMATE AND MAY NOT BE COMPLETE. PRIVATE UNDERGROUND UTILITIES SUCH AS BUT NOT LIMITED TO, SEWER LINES, WATER LINES AND BURIED ELECTRICAL SERVICE ENTRANCES ARE NOT SHOWN. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION AND SIZE OF EXISTING UTILITIES IN THE FIELD WITH THE RESPECTIVE UTILITY REPRESENTATIVE PRIOR TO COMMENCING WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA. ADDITIONAL TEST FITS, BEYOND THOSE SHOWN, MAY BE REQUIRED. UTILITY CONTACTS ARE AS FOLLOWS:
 

<b>DIG SAFE:</b> 1-888-344-7233	<b>TELECOMMUNICATIONS:</b> OXFORD NETWORKS 491 LISBON STREET LEWISTON, ME 04240 TEL: (207) 336-9911	<b>WATER AND SEWER:</b> AUBURN WATER AND SEWER DISTRICT 269 COURT STREET AUBURN, MAINE 04210 TEL: (207) 784-6469
<b>ELECTRICAL:</b> CENTRAL MAINE POWER 83 EDISON DRIVE AUGUSTA, ME 04336 TEL: (207) 719-9118	<b>SPECTRUM:</b> 7 ALFRED FLOURDE PARKWAY LEWISTON, ME 04240 TEL: 1-800-833-2253	
<b>GAS:</b> UNILIT 1075 FOREST AVENUE PORTLAND, ME 04104 TEL: (207) 951-8002	<b>FAIRPOINT COMMUNICATIONS:</b> 521 E. MOREHEAD ST PORTLAND, ME 04101 TEL: 1-800-585-4466	

- 3) THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON CITY OF AUBURN GIS MAPPIING AS PROVIDED TO US BY THE CITY SURVEYOR. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (1-888-DIGSAFE) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- 4) CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS.
- 5) CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 336-0-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, THE CITY, AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.

- 6) ALL EXISTING STORM DRAIN LINES ENCOUNTERED DURING CONSTRUCTION ARE TO REMAIN IN SERVICE. ANY EXISTING STORM DRAIN LINES OR CULVERTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY. ALL TEST PITS SHALL BE EXCAVATED PRIOR TO CONSTRUCTION LAYOUT AND RESULTS REPORTED TO THE ENGINEER FOR REVIEW FOR PERFORMANCE WITH PLANS.
- 7) ALL STRUCTURES AND PIPELINES LOCATED ADJACENT TO TRENCH EXCAVATIONS SHALL BE PROTECTED AND FIRMLY SUPPORTED BY THE CONTRACTOR UNTIL THE TRENCH IS BACKFILLED. INJURY TO ANY SUCH STRUCTURES CAUSED BY, OR RESULTING FROM, THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL UTILITIES REQUIRING REPAIR, RELOCATION OR ADJUSTMENT AS A RESULT OF THE PROJECT SHALL BE COORDINATED THROUGH THE RESPECTIVE UTILITY.

- 8) IN THOSE INSTANCES WHERE POWER OR TELEPHONE POLE SUPPORT IS REQUIRED, THE CONTRACTOR SHALL PROVIDE A MINIMUM 48-HOUR NOTIFICATION TO CMP OR FAIRPOINT, RESPECTIVELY. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR TEMPORARY BRACING OF UTILITIES.
- 9) THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION RELATED PERMITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH PERMIT AS THEY APPLY TO THE WORK PRIOR TO BIDDING AND ABIDE BY THOSE PROVISIONS DURING CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES & PROVIDE PROOF OF INSURANCE AS NECESSARY FOR THIS WORK.
- 10) THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RIGHTS OF WAY AND EASEMENTS. THE CONTRACTOR SHALL VERIFY THAT THE NECESSARY EASEMENTS HAVE BEEN SECURED BY THE OWNER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH EASEMENT AS THEY APPLY TO THE WORK PRIOR TO BIDDING AND ABIDE BY THOSE PROVISIONS DURING CONSTRUCTION. COPIES OF ALL RIGHTS-OF-WAY AND EASEMENTS ARE AVAILABLE FOR REVIEW AT THE OWNER'S OFFICE.

- 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF ALL PROPOSED LINES AND GRADES AS SHOWN ON THE DRAWINGS. THE HORIZONTAL ALIGNMENT OF THE NEW STORM DRAINS AND SANITARY SEWER MAY BE ADJUSTED IN THE FIELD SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
- 12) THE SURVEYOR SHALL PROVIDE THE NECESSARY HORIZONTAL AND VERTICAL CONTROL POINTS FOR THE CONTRACTOR'S WORK AND CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS INFORMATION THROUGHOUT CONSTRUCTION. ALL ELEVATIONS REFER TO THE 1988 NATIONAL GEODETIC VERTICAL DATUM UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL ELEVATION REFERENCE INFORMATION PRIOR TO USE IN CONSTRUCTION.
- 13) THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL EXISTING PROPERTY MONUMENTATION THAT IS DISTURBED BY HIS OPERATIONS AT NO EXPENSE TO THE OWNER. THIS WORK IS TO BE DONE BY A LAND SURVEYOR REGISTERED IN THE STATE OF MAINE.
- 14) THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROL AND THE PREVENTION OF EROSION. ALL DISTURBED EARTH SURFACES ARE TO BE STABILIZED IN THE SHORTEST PRACTICAL TIME AND TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES SHALL BE EMPLOYED UNTIL SUCH TIME AS ADEQUATE SOIL STABILIZATION HAS BEEN ACHIEVED. TEMPORARY STORAGE OF EXCAVATED MATERIAL IS TO BE IN A MANNER THAT WILL MINIMIZE EROSION. MATERIALS AND METHODS USED FOR TEMPORARY SEDIMENT AND EROSION CONTROL SHALL BE AS SPECIFIED BY THE LATEST EDITION OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PREPARED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

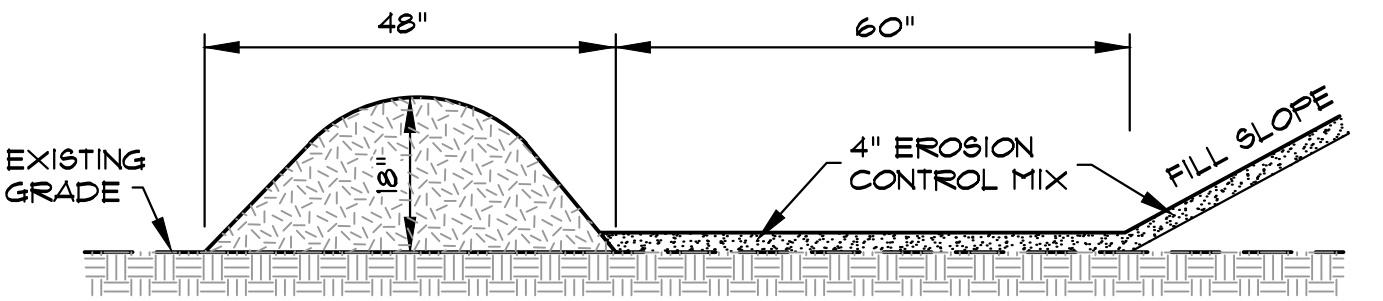
- 15) COMPACTION TESTS SHALL BE PERFORMED IN ACCORDANCE WITH MDOT SPECIFICATIONS WITH RESULTS OF TESTING SUBMITTED TO THE OWNER. ANY SETTLEMENT OCCURRING WITHIN ONE YEAR OF SUBSTANTIAL COMPLETION OF THE PROJECT WILL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 16) PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER FLUME LOG HANDLING SYSTEMS. COMPARABLE COMPOSTED MIXES CAN BE USED UPON WRITTEN APPROVAL OF THE ENGINEER.

THE MIX SHALL CONFORM TO THE FOLLOWING: pH BETWEEN 5.0-8.0, PARTICLE SIZE - 100% PASSING THROUGH A 6" SCREEN AND 80% RETAINED ON A 3/4" SCREEN, SOLUBLE SALTS CONTENT SHALL BE LESS THAN 4.0 mmhos/cm.

THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

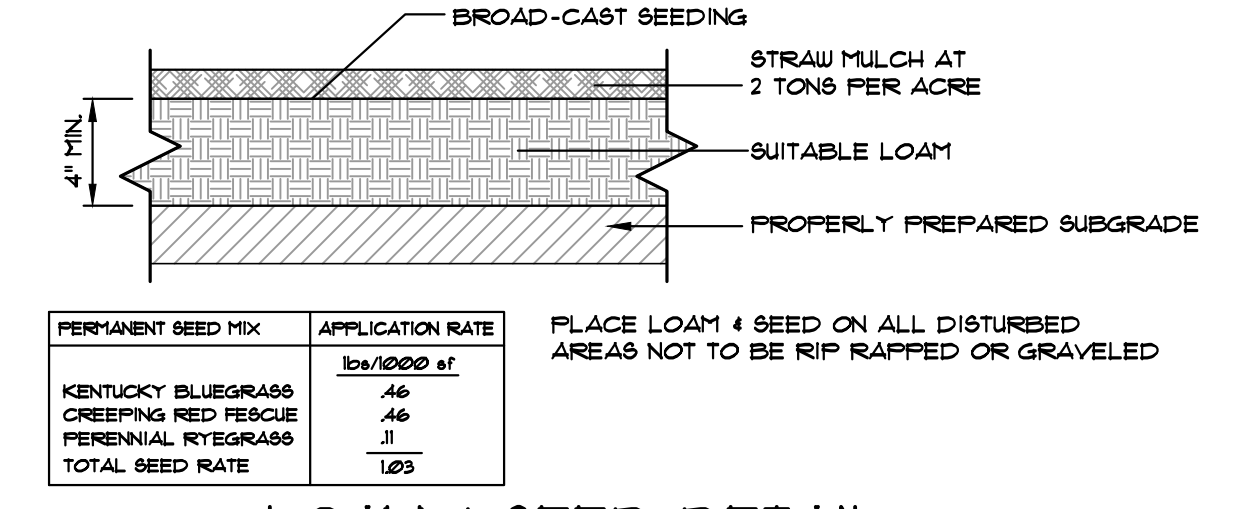
THE BERM MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE BERM BY LARGER SEDIMENT PARTICLES (SILT FENCE PLACED ON THE UPWIND SIDE OF BERM).



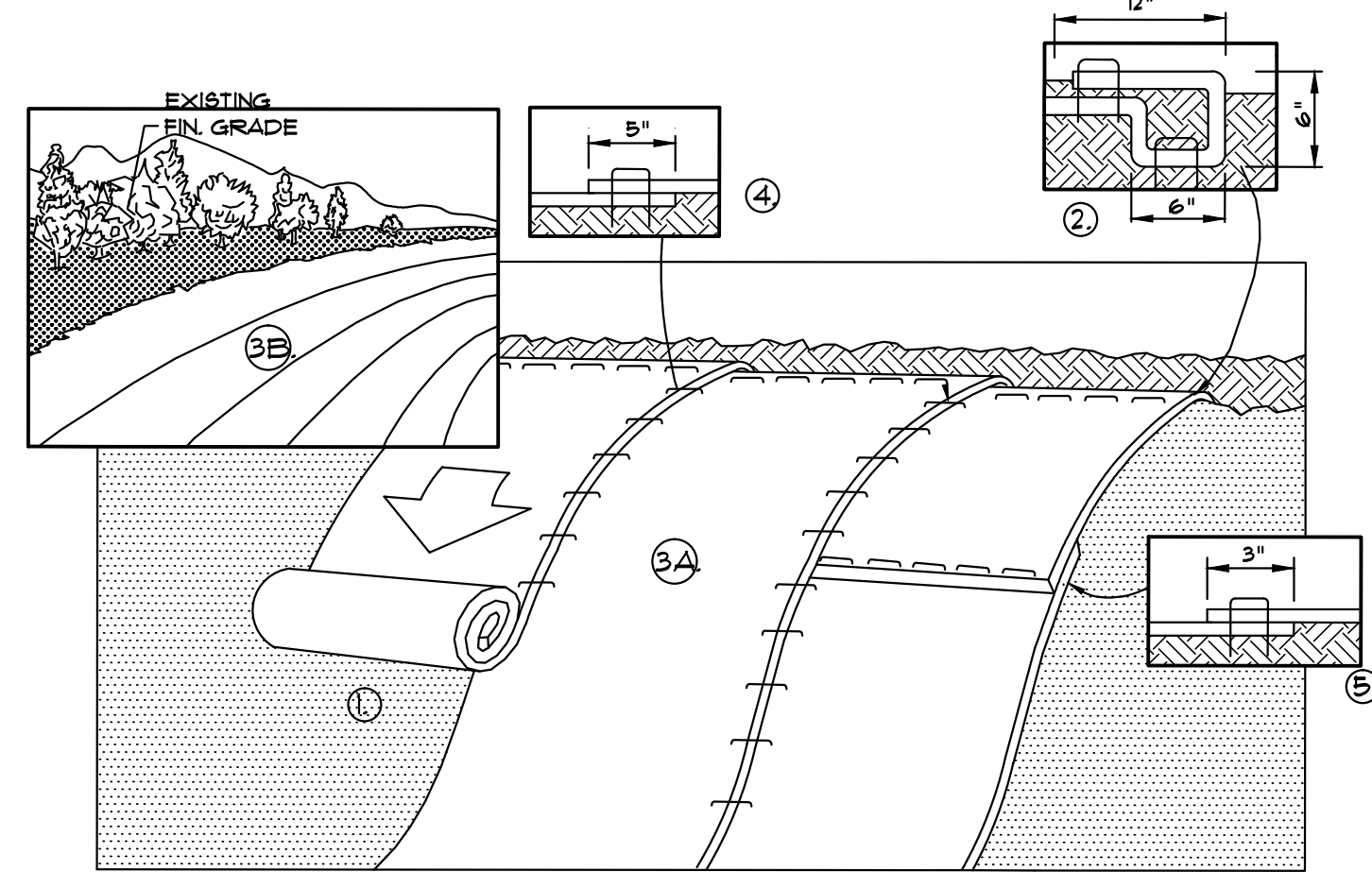
**BARK MULCH BERM DETAIL**  
NOT TO SCALE

**GENERAL NOTES CONTINUED**

- 17) CONTRACTOR SHALL CONTROL DUST WITH APPROPRIATE DUST CONTROL MEASURES. CONTRACTOR SHALL NOT TRACK OR SPILL EARTH AND DEBRIS ON PUBLIC STREETS OUTSIDE THE PROJECT AREA. STREETS OPENED TO THE PUBLIC SHALL BE KEPT SWEET AND FREE OF DEBRIS.
- 18) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL RULES, REGULATIONS AND LAWS.
- 19) THE INVERTS INDICATED ON THE PLAN AND PROFILE SHEETS ARE TO THE INSIDE FACE OF THE MANHOLE.
- 20) CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING, FURNISHING, INSTALLING AND MONITORING ANY SHORING, BRACING OR OTHER EXCAVATION SUPPORT THAT MAY BE REQUIRED TO PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENT OR OTHER FACILITIES THAT COULD BE DAMAGED BY SETTLEMENT, LATERAL MOVEMENTS, UNDERMINING, WASHOUT OR OTHER HAZARDS THAT COULD DEVELOP DURING EXCAVATION SUPPORT AND PROTECTION OPERATIONS.
- 21) CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- 22) INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- 23) CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION DAILY.
- 24) THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ENGINEER AND/OR OWNER.
- 25) DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- 26) BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION AS DETERMINED BY THE CITY, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HIS/HER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.
- 27) THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR, OR APPURTENANT TO, THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
- 28) THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
- 29) THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- 30) THE CONTRACTOR SHALL NOT USE PRIVATE PROPERTY FOR STOCKPILING MATERIALS OR PARKING EQUIPMENT OR VEHICLES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY DAMAGE DONE TO PRIVATE PROPERTY RESULTING FROM THESE ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AT NO ADDITIONAL COST TO THE CITY/OWNER.



**LOAM & SEED DETAIL**  
NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND HOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

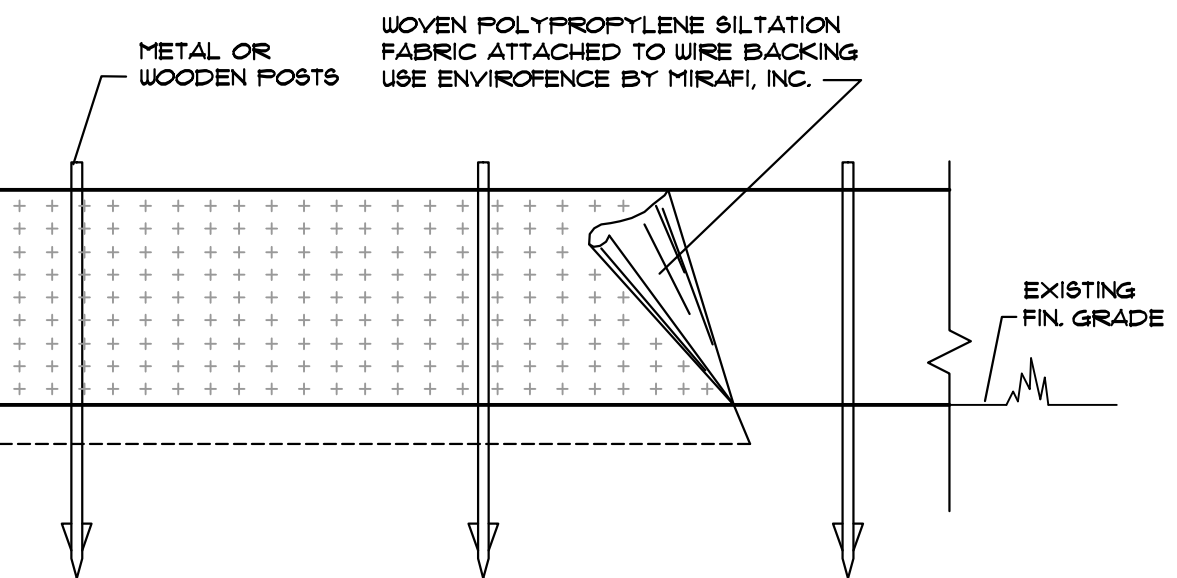
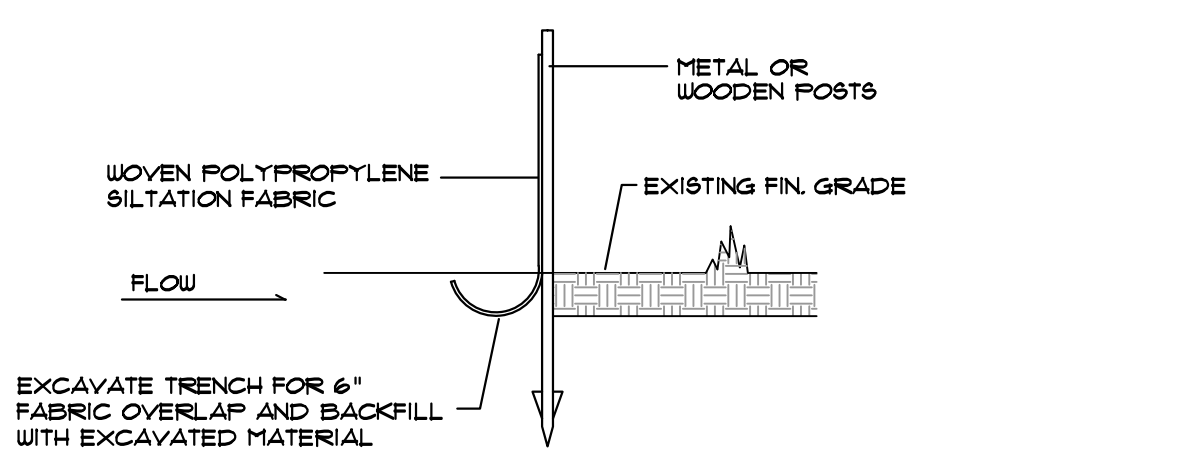
**EROSION CONTROL BLANKET DETAIL**  
NOT TO SCALE

**EROSION & SEDIMENTATION CONTROL NOTES**

- 1) THE CONTRACTOR SHALL INSPECT EROSION & SEDIMENT CONTROL MEASURES WEEKLY AND AFTER HEAVY RAINFALLS THROUGHOUT THE DURATION OF THE PROJECT INCLUDING WEEKENDS AND HOLIDAYS. INSPECTION REPORTS MUST BE PROVIDED TO THE CITY AND OWNER WITHIN 48-HOURS OF INSPECTION. ALL EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED PER BEST MANAGEMENT PRACTICES.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES", DEPARTMENT OF ENVIRONMENTAL PROTECTION, CURRENT EDITION AND IN ACCORDANCE WITH THE STORMWATER REPORT INCLUDED WITH THE PERMIT APPLICATION APPROVED BY THE CITY OF AUBURN. ADDITIONAL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY DURING ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.
- 3) PRIOR TO CONSTRUCTION, PROPERLY INSTALL SEDIMENT BARRIERS AT THE DOWN GRADED EDGE OF THE DISTURBED AREA AND ADJACENT TO DRAINAGE CHANNELS WITHIN THIS AREA.
- 4) SILT FENCE AND BARK MULCH BERM LOCATIONS SHOWN ARE APPROXIMATE. INSTALL WHERE APPROPRIATE TO CONTROL SEDIMENTATION ON AND OFF SITE. SILT FENCE SHALL BE REMOVED AFTER THE SITE IS STABILIZED WITH AT LEAST 30% VEGETATED GROWTH.
- 5) NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
- 6) AREAS DISTURBED DURING CONSTRUCTION SHALL BE MINIMIZED. AREAS SHALL BE TEMPORARILY STABILIZED WITH MULCH OR NON-ERODABLE COVER IF EXPOSED SOILS WILL NOT BE WORKED FOR MORE THAN 1 DAY. PERMANENT SEEDING SHALL TAKE PLACE WITHIN 1 DAY OF FINAL GRADING.
- 7) IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCHING (DOMINANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- 8) TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED BY AUGUST 15th OR 45 DAYS PRIOR TO THE FIRST KILLING FROST (OCT. 1) TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- 9) REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - A) 4" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - B) APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 200 POUNDS PER ACRE OR 15 POUNDS PER SQUARE FOOT USING 10-20-20 (N-P2O5-K2O) OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 80% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3.3 TONS PER ACRE (150 lbs. PER 1000 s.f.)
  - C) FOLLOWING SEED BED PREPARATION, DITCHES AND BARK SLOPES WILL BE SEEDED TO A MIXTURE OF 41% CREEPING RED FESCUE, 5% REDTOP AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS ONE POUND PER 1000 s.f. LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED. SEED MIX SHALL CONTAIN 10% ANNUAL RYEGRASS.
  - D) HAY MULCH AT THE RATE OF 10-20 lbs PER 1000 s.f. OR A HYDRO-APPLICATION OF ASPHALT, WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON HAY MULCH FOR WIND CONTROL.

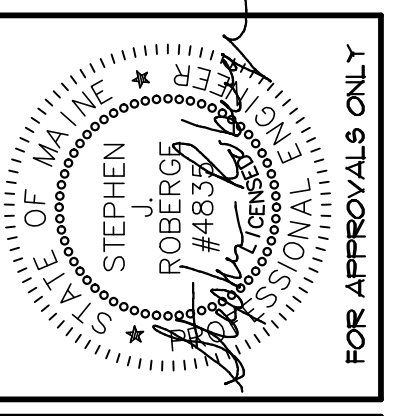
**WINTER CONSTRUCTION NOTES**

- 1) WINTER CONSTRUCTION IS CONSTRUCTION ACTIVITY PERFORMED DURING THE PERIOD FROM NOVEMBER 1 - APRIL 15. IF DISTURBED AREAS ARE NOT STABILIZED WITH PERMANENT MEASURES BY NOVEMBER 1 OR NEW SOIL DISTURBANCE OCCURS AFTER NOVEMBER 1, BUT BEFORE APRIL 15, THEN THESE AREAS MUST BE PROTECTED AND RUNOFF FROM THEM MUST BE CONTROLLED BY ADDITIONAL MEASURES AND RESTRICTIONS.
- 2) SITE STABILIZATION - FOR WINTER STABILIZATION HAY MULCH IS APPLIED AT TWICE THE STANDARD TEMPORARY STABILIZATION RATE. AT THE END OF EACH CONSTRUCTION DAY, AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE STABILIZED. MULCH MAY NOT BE SPREAD ON TOP OF SNOW.
- 3) SEDIMENT BARRIERS - ALL AREAS WITHIN 75' OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.
- 4) DITCH - ALL VEGETATIVE DITCH LINES THAT HAVE NOT BEEN STABILIZED BY NOVEMBER 1, OR WILL BE WORKED DURING THE WINTER CONSTRUCTION PERIOD MUST BE STABILIZED WITH AN APPROPRIATE STONE LINING BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE UNLESS SPECIFICALLY RELEASED FROM THIS STANDARD BY THE DEPARTMENT.
- 5) SLOPES - MULCH NETTING MUST BE USED TO ANCHOR MULCH ON ALL SLOPES GREATER THAN 8% UNLESS EROSION CONTROL BARRIERS OR EROSION CONTROL MIX IS BEING USED ON THESE SLOPES.



- NOTES**
- 1) REFERENCE IS MADE TO THE BEST MANAGEMENT PRACTICE FOR EROSION AND SEDIMENT CONTROL. B-1 SEDIMENT BARRIERS
  - 2) SILTATION FABRIC WITH INTEGRAL MESH AND POSTS MAY BE USED.

**SILT FENCE DETAIL**  
NOT TO SCALE



	2/2/19
REV: DATE	CHANGES TO ADDRESS REVIEW COMMENTS
REV: DATE	CHANGES
DO NOT MODIFY PLAN WITHOUT WRITTEN PERMISSION FROM SJR ENG. INC.	

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**CONSTRUCTION NOTES**  
**EVERGREEN SUBARU**  
643 TURNER STREET - AUBURN, MAINE  
PREPARED FOR  
**EVERGREEN 2.0**  
114 CENTER STREET - AUBURN, MAINE

DATE	PROJECT
2-12-19	2019-03
DRAWN BY	SCALE
FIM	NTS
<b>SHEET 4</b>	